

Tri-Town Homes

BUILDING SPECIFICATION SHEET

3 Londonderry Lane, Georgetown, MA

SITE

- Driveway paved asphalt
- Private septic system
- Town water
- Utilities – electric, cable and telephone underground
- Gas propane (underground)

MASONRY

- Foundation walls psi concrete, 10' thick
- Basement floor 3000 psi concrete 4' thick
- Exterior foundation walls below ground damped proofed and insulated
- Perimeter drain installed around exterior footing
- Fireplace in family room (gas) marble surround and wood mantle

FRAME

- Exterior walls 2X6 kd spruce 16" on center
- Interior partitions 2X4 kd spruce 16" on center
- Floor joists shall be 2X10 kd spruce
- Sub floors sheathing shall be 3/4" T&G advantech plywood glued and nailed
- Exterior sheathing 1/2" OSB
- Attic access – walk up stairs

EXTERIOR FINISH

- Vinyl siding with fluted corner boards on front
- Roofing – asphalt shingles (30 years architectural type)
- Vinyl shutters installed front side
- Exterior deck 12X20 pressure treated lumber
- Front porch

DOORS AND WINDOWS

- Front door – fiberglass insulated 6 panel with full view sidelights
- Vinyl tilt windows with full screen and low E glass plus Argon Energy Star Rated
- Garage doors insulated steel with openers
- Interior doors 6 panel masonite solid core (hollow core closets)

INSULATION

- 6” fiberglass in basement ceiling R19
- 6” fiberglass in exterior walls R19
- 9” fiberglass in second floor ceiling R30
- 6” fiberglass in garage ceiling R30

INTERIOR FINISH

- Walls ½” wallboard skim coat plaster
- Texture finish in garage, closets and ceilings
- Window and door trim 2½” FJ pine
- Baseboard 5½” FJ speedbase
- Walls painted - 1 coat primer, 1 coat finish (flat latex)
- Trim painted – 1 coat primer, 2 coat finish (semi-gloss latex)
- Closets shall have wire shelves
- Front hall railing – white spindles and oak railing
- Staircase – oak treads and pine risers
- Crown molding- dining room, living room & master bedroom

PLUMBING AND HEATING

- Kitchen – double stainless steel sink
- Gas stove connection
- Ice maker connection
- Half bath – vanity sink & toilet with granite
- Main bath – toilet, 5’ fiberglass bath/shower unit, double sink vanity with granite top.
- Master bath – 5’ fiberglass whirlpool, double sink vanity with granite top.
- Washer and dryer hook up
- Hot water tank gas fired 50 gallon
- 2 exterior faucets
- Forced hot air heat by gas – 2 zone systems
- Central air – 2 zone system
- Fixtures American Standard

ELECTRICAL

- 200 Amp service, plugs and switch to code
- Telephone line Cat 5, outlets in kitchen, family room and bedrooms (6 total)
- Cable roughed in family room and bedrooms (5 total)
- 2 outlets provided for garage door openers
- One double flood light over garage
- 2 exterior outlets
- 3 bathroom ceiling fan/light units installed by Builder
- \$1,500.00 lighting allowance
- 12 recessed lights included
- There is an extra charge for assembly of specialty lights

KITCHEN CABINETS

- Kitchen cabinets Schrock
- Countertops – Granite from Builder sample
- \$2,500.00 appliance allowance

FLOORING

- Entry foyer, dining room, kitchen, breakfast areas and upstairs hallway oak hardwood floor
- Tile baths and laundry area - \$3.50 per square foot allowance includes grout
- Carpet allowance - \$20.00 per square yard installed in all bedrooms, Living and family room

LANDSCAPING

- Loam and seed all disturbed areas
- Front walkway pavers
- Shrubs will be provided in the front of the house
- Mulch beds in the front of the house

STANDARD EXCLUSIONS

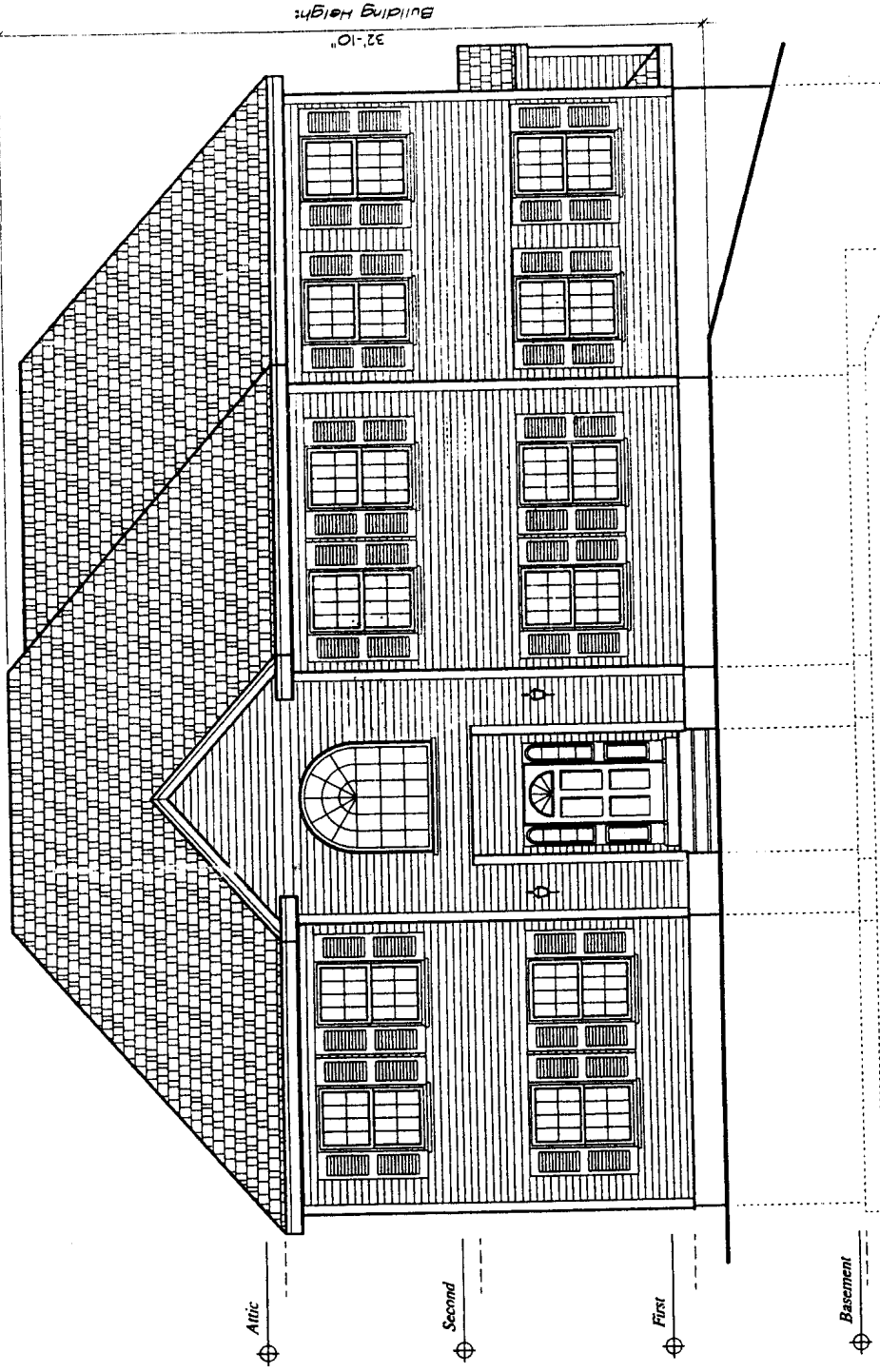
- Towel racks, soap dishes, paper holders, shower doors
- Mail Box
- Mirrors

Total Living Area sq. ft. = 3,028
Project # 29-

Snow Load p.s.f. = 50
Occupied Floor Live Load p.s.f. = 40
Exterior Balconies p.s.f. = 60
Attic with Storage p.s.f. = 20
Dead Load p.s.f. = 10
Foot-print Dimensions = 32'-6" x 54'-0"

Project location:
3 Londonderry Lane
Georgetown, Massachusetts

Contractor / Builder:
Tri-Town Homes



L-3028: Front Elevation
3/16" = 1'0"

[Handwritten Signature]

This house plan has been developed to the
7th Edition of the Massachusetts State Building
Code as of the date indicated October 14, 2012

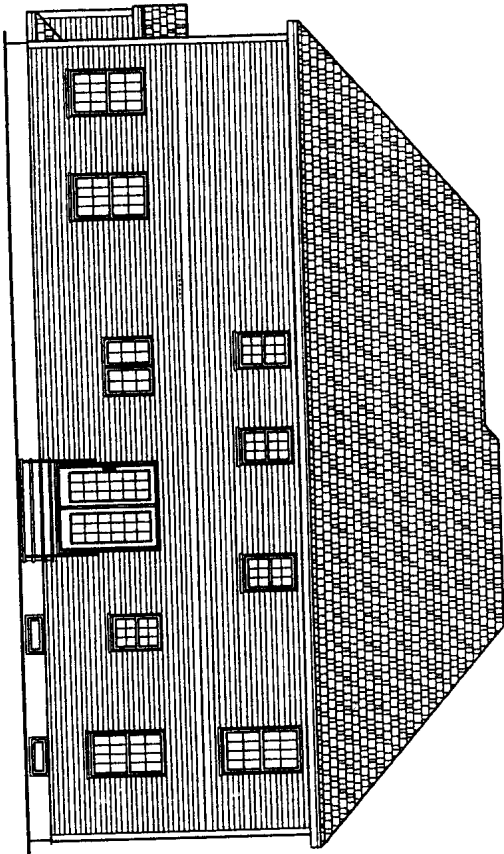
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A Drafting Service for
Professional Home Builders

Notes:

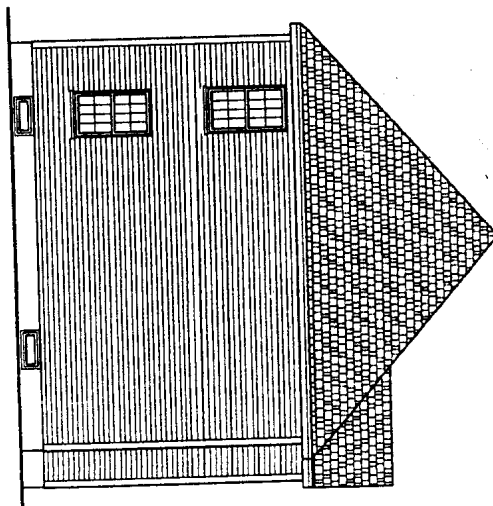
- * All dimensions to be field verified and changes made accordingly.
- * Exterior siding, trim, moldings and details are per builder specifications.
- * Finish grade is shown as 1' 6" below top of foundation.
- * Window & Doors: MFT., size, design, layout and details per builder.
- * When this drawing is 11 x 17, it is the scale as indicated.



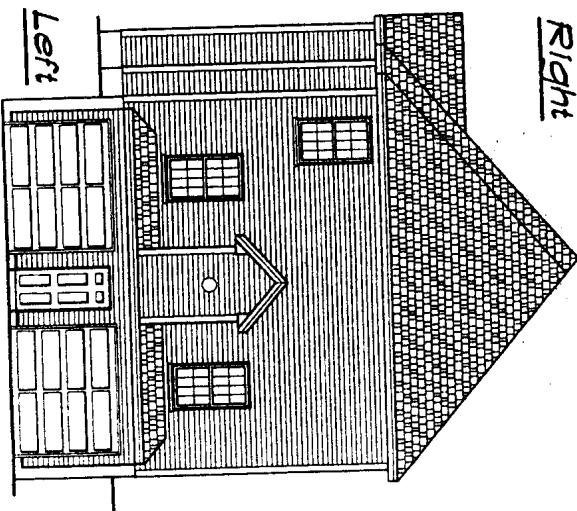


L-302B: Back

1/8" = 10"



Right



Left

General Notes

Window Opening Requirements for Massachusetts

- Grade floor openings - 5 sq. ft. net clear opening.
- Double hung windows used for emergency escape shall have 3.3 sq. ft. minimum net clear opening.
- Minimum opening height - 24 inches net clear.
- Minimum opening width - 20 inches net clear.

- (S)** Smoke Detectors
1 in each bedroom
1 outside each separate bedroom
1 near base of each stairway
1 in every basement & walk up attic
1 for every 1000 sq. ft.
- (H)** Heat Detectors
1 in each attached garage, near center.
- (C)** Carbon Monoxide Detectors
1 in each habitable story of the house
and within 10 ft. of all bedrooms.

Continuous Structural Panel Sheathing

(5602, 10, 5 & 5602 10, 3 method 3)
Wood structural panel sheathing 3/8" (min.) thickness for stud spacing of 24" O.C. (max.), the 8d common nails at 6" O.C. for the perimeter and 12" O.C. to framing (Table 5602, 3 (1)). Gypsum board to be fastened to studs at 1" O.C. (max.)

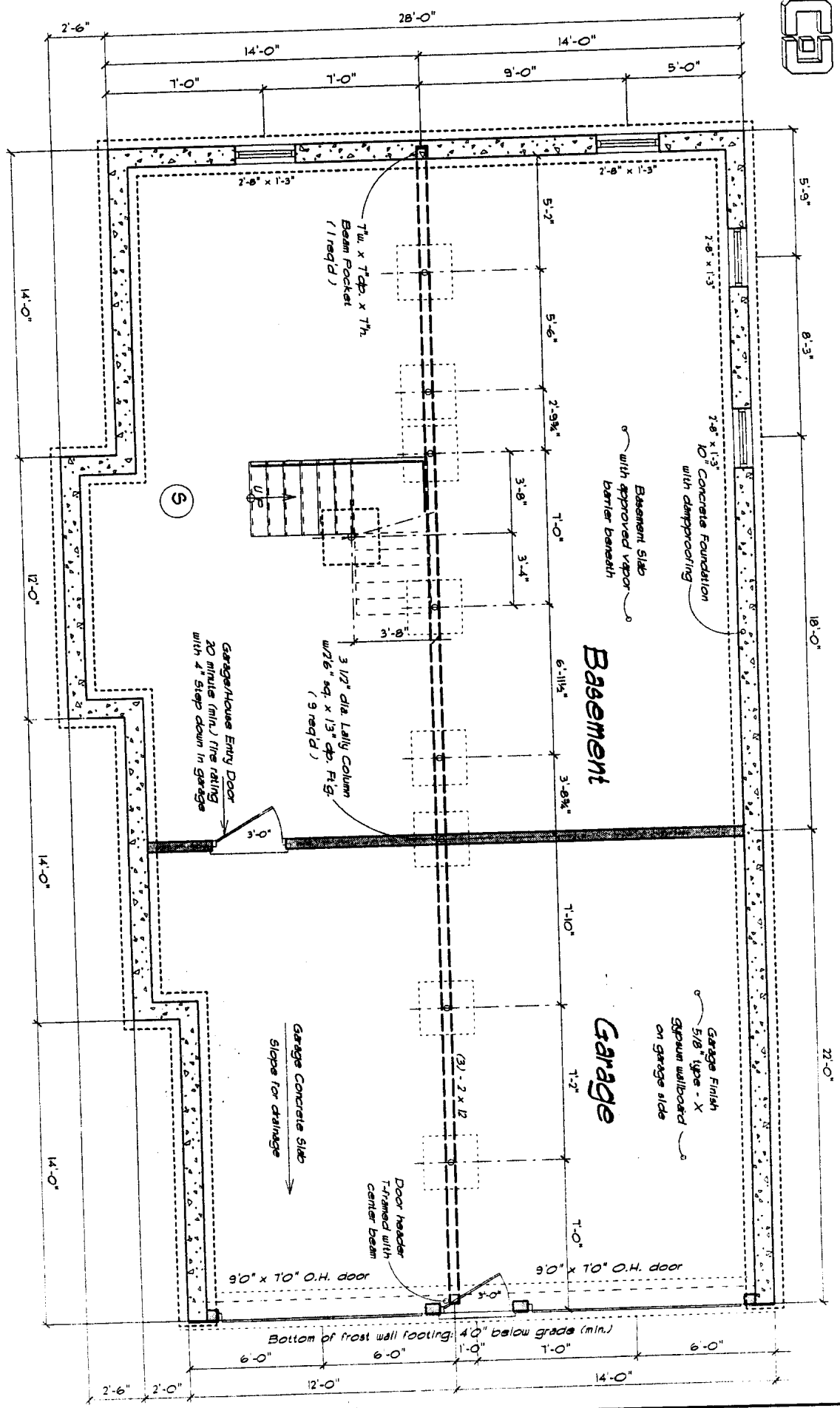
Contact a Registered Structural Engineer for addition analysis.

Abbreviations		L.P.	
Ch.	- Clear	Max.	- Maximum
Conc.	- Concrete	Min.	- Minimum
D.L.	- Dead Load	O.C.	- On Center
Dia.	- Diameter	P.T.	- Pressure Treated
El.	- Elevation	Pav.	- Pavement / Sq. Ft.
Fdn.	- Foundation	Req'd.	- Required
Ft.	- Floor	Ref.	- Reference
Fram.	- Framing	Sq. Ft.	- Square Feet
Ftg.	- Footing	T & B	- Top & Bottom
H.P.	- High Point	T & G	- Tongue & Groove
K.D.	- Kilm Dried	Typ.	- Typical
L.L.	- Live Load	U.N.O.	- Unless Otherwise Noted

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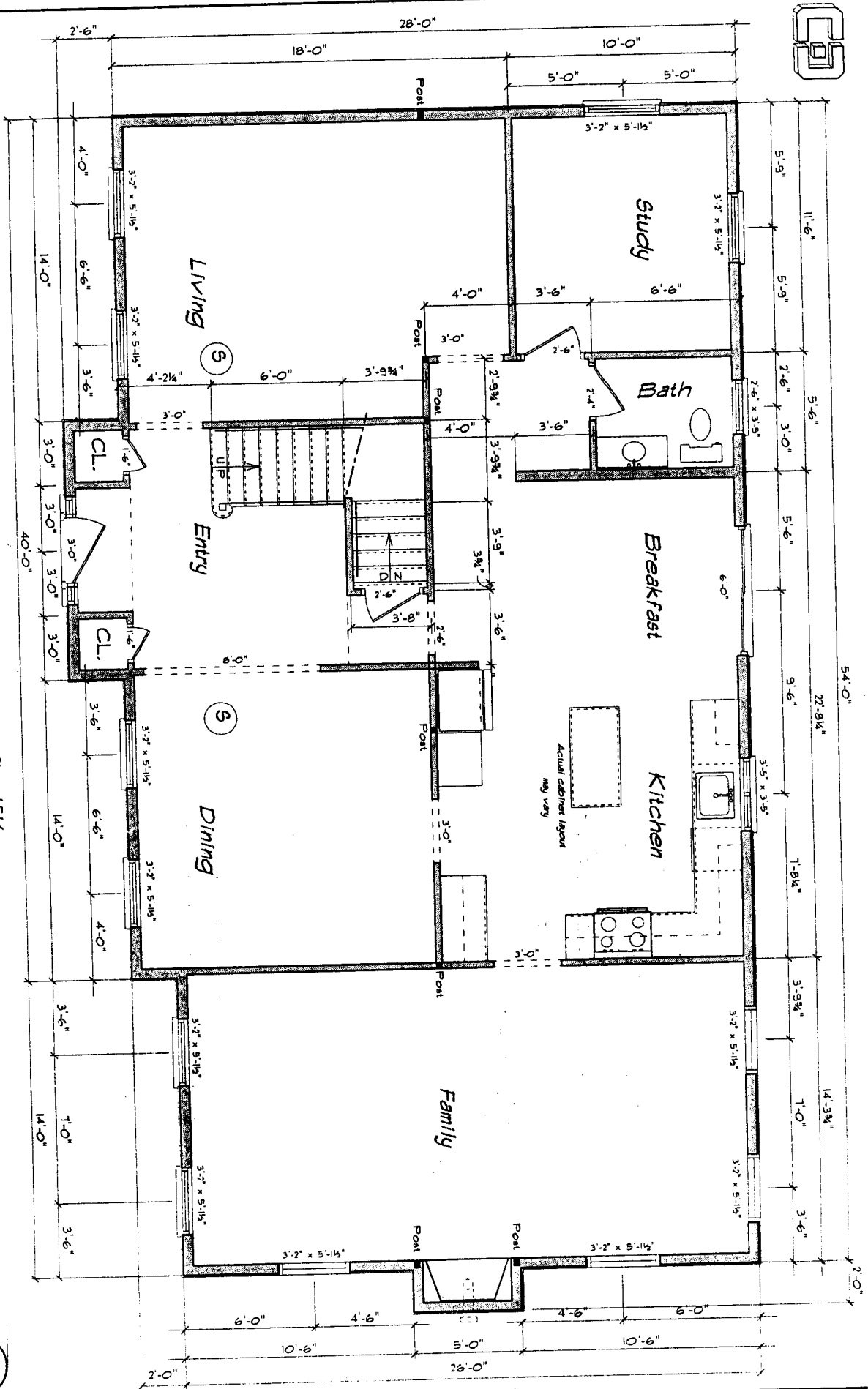
Notes:

- Field verify all dimensions.
- Scale applies for 11 x 17 drawings.
- Drawing date: October 14, 2009



Notes:
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 • Scale applies for 11 x 17 drawings.
 • Drawing date: October 15, 2009

L-3028: Foundation
 1/4" = 10"

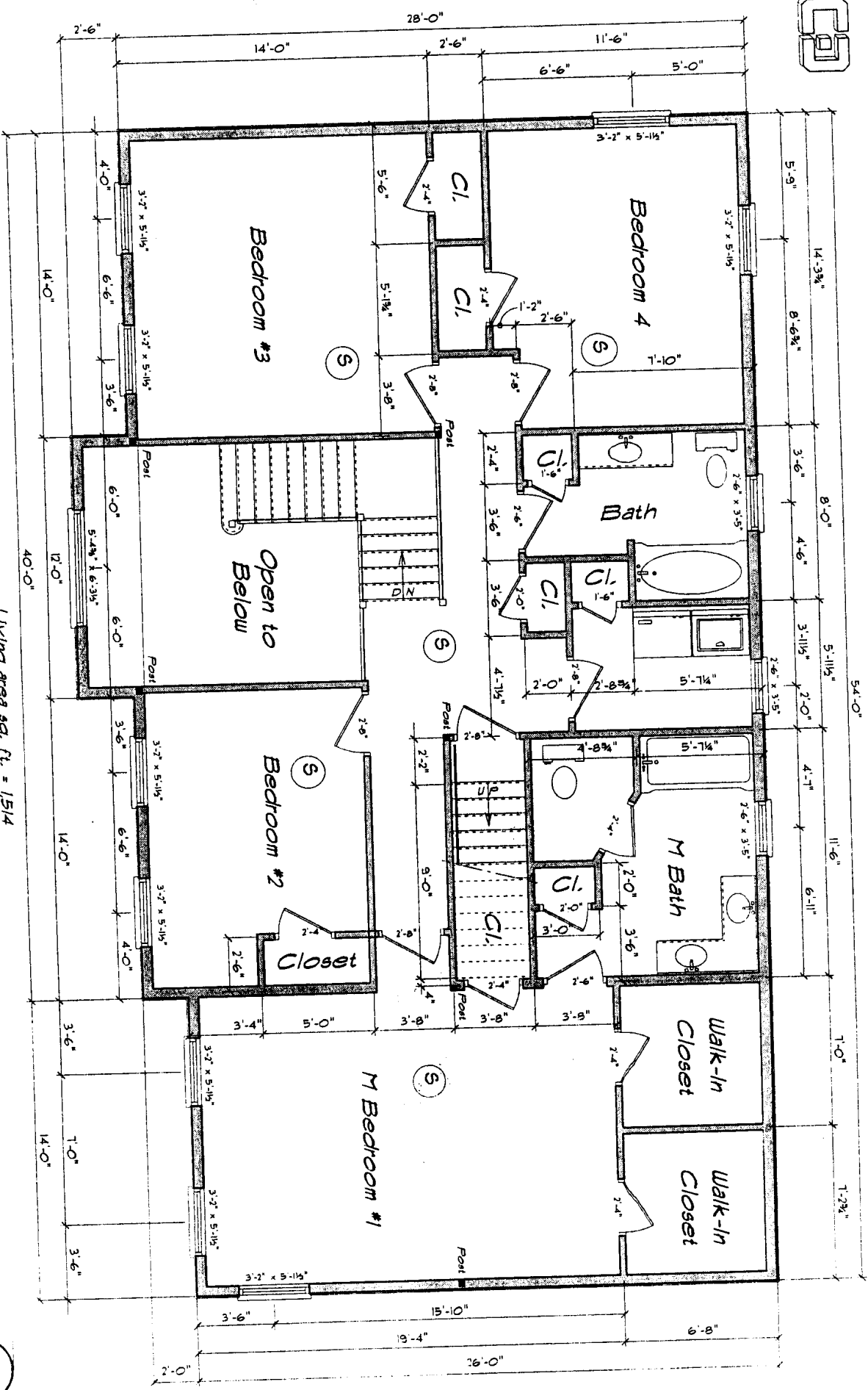
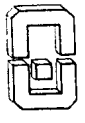


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Notes:
 • Field verify all dimensions.
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 • Drawing date: October 15, 2009

LIVING AREA sq. ft. = 1,514
 L-3028: 1st FLOOR
 1/4" = 1'-0"





- Notes:**
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Living area sq. ft. = 1514
L-3028: 2nd Floor

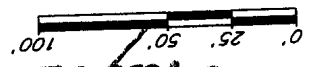
1/4" = 1'-0"

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Plan of Land in GEORGETOWN, MASS.

Hayes Engineering, Inc.
Civil Engineers & Land Surveyors
603 Salem Street
Wakefield, MA 01880

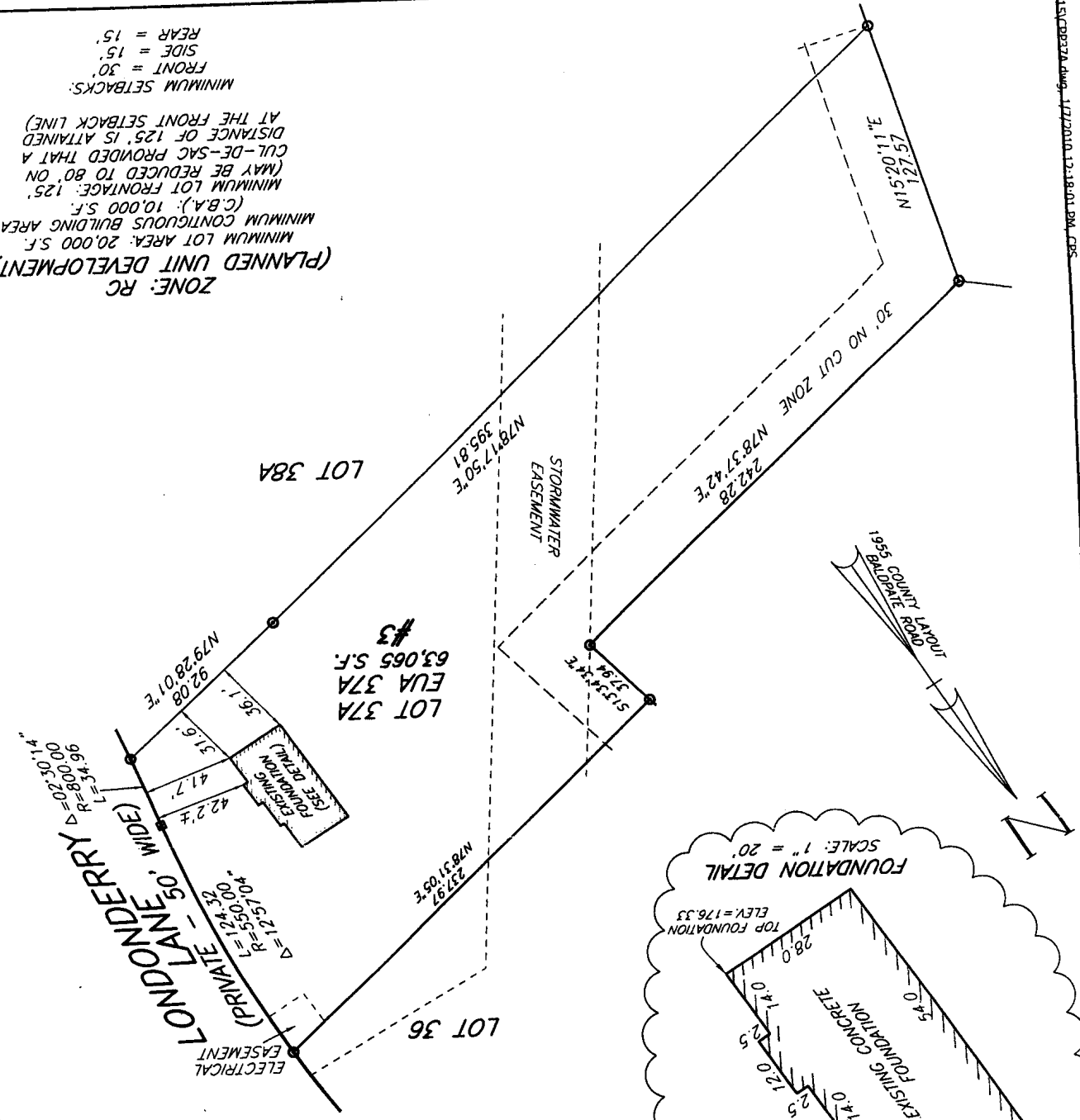
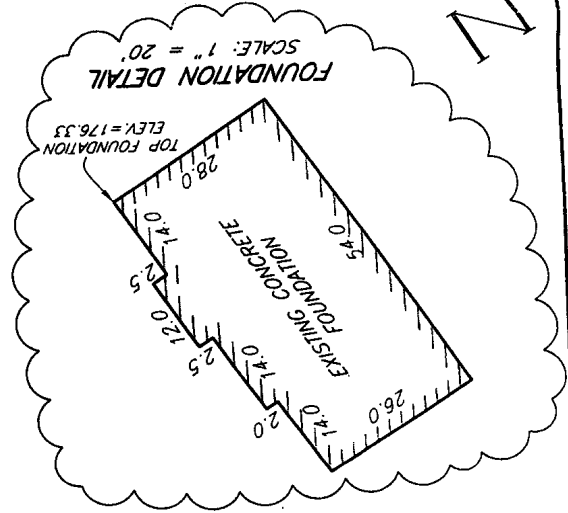
Telephone: 781.246.2800
Facsimile: 781.246.7596
www.hayeseng.com



I CERTIFY THAT THIS FOUNDATION IS LOCATED ON THE GROUND AS SHOWN, AND THAT IT CONFORMS TO THE SETBACK REQUIREMENTS OF THE ZONING BY-LAWS OF THE TOWN OF GEORGETOWN. I FURTHER CERTIFY THAT THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA (ZONE A OR V) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 250081 0005 B; EFFECTIVE DATE: JUNE 4, 1980.



DATE: JANUARY 7, 2010



ZONE: RC
(PLANNED UNIT DEVELOPMENT)
MINIMUM LOT AREA: 20,000 S.F.
MINIMUM CONTIGUOUS BUILDING AREA (C.B.A.): 10,000 S.F.
MINIMUM LOT FRONTAGE: 125'
(MAY BE REDUCED TO 80' ON CUL-DE-SAC PROVIDED THAT A DISTANCE OF 125' IS ATTAINED AT THE FRONT SETBACK LINE)
MINIMUM SETBACKS:
FRONT = 30'
SIDE = 15'
REAR = 15'

PRIVATE LANE - 50' WIDE
LONDONDERRY ROAD
ELECTRICAL EASEMENT
(PRIVATE LANE)
R = 1235.704'
L = 1234.32'
R = 1235.704'
L = 1234.32'
R = 1235.704'
L = 1234.32'
R = 1235.704'
L = 1234.32'