

Tri-Town Homes

BUILDING SPECIFICATION SHEET

66 Bradford Loop, Georgetown, MA

SITE

- Driveway paved asphalt
- Private septic system
- Town water
- Utilities – electric, cable and telephone overhead
- Gas propane (underground)

MASONRY

- Foundation walls psi concrete, 10' thick
- Basement floor 3000 psi concrete 4' thick
- Exterior foundation walls below ground damped proofed and insulated
- Perimeter drain installed around exterior footing
- Fireplace in family room (gas) marble surround and wood mantle

FRAME

- Exterior walls 2X6 kd spruce 16" on center
- Interior partitions 2X4 kd spruce 16" on center
- Floor joists shall be 2X10 kd spruce
- Sub floors sheathing shall be ¾" T&G advantech plywood glued and nailed
- Exterior sheathing ½" OSB
- Attic access – pull down stairs

EXTERIOR FINISH

- Vinyl siding with fluted corner boards on front
- Roofing – asphalt shingles (30 years architectural type)
- Vinyl shutters installed front side
- Exterior deck 12X16 pressure treated lumber

DOORS AND WINDOWS

- Front door – fiberglass insulated 6 panel with full view sidelights
- Vinyl tilt windows with full screen and low E glass plus Argon Energy Star Rated
- Garage doors- 9' x 7' insulated steel with openers
- Interior doors 6 panel masonite solid core (hollow core closets)

INSULATION

- 6" fiberglass in basement ceiling R19
- 6" fiberglass in exterior walls R19
- 9" fiberglass in second floor ceiling R30
- 6" fiberglass in garage ceiling R19

INTERIOR FINISH

- Walls ½" wallboard skim coat plaster
- Texture finish in garage, closets and ceilings
- Window and door trim 2½" FJ pine
- Baseboard 5½" FJ speedbase
- Walls painted - 1 coat primer, 1 coat finish (flat latex)
- Trim painted – 1 coat primer, 2 coat finish (semi-gloss latex)
- Closets shall have wire shelves
- Front hall railing – white spindles and oak railing
- Staircase – oak treads and pine risers

PLUMBING AND HEATING

- Kitchen – double stainless steel sink
- Gas stove connection
- Ice maker connection
- Half bath – pedestal sink and toilet
- Main bath – toilet, 5' fiberglass bath/shower unit, single sink vanity with formica top.
- Master bath – 5' fiberglass whirlpool, double sink vanity with formica top.
- Washer and dryer hook up
- Hot water tank gas fired 40 gallon
- 2 exterior faucets
- Forced hot air heat by gas – 2 zones – 95% high efficiency
- Central air – 2 zones
- Fixtures American Standard

ELECTRICAL

- 200 Amp service, plugs and switch to code
- Telephone line Cat 5, outlets in kitchen, family room and bedrooms (6 total)
- Cable roughed in family room and bedrooms (5 total)
- 2 outlets provided for garage door openers
- One double flood light over garage
- 2 exterior outlets
- 3 bathroom ceiling fan/light units installed by Builder
- \$1,000.00 lighting allowance
- 7 recessed lights included
- There is an extra charge for assembly of specialty lights

KITCHEN CABINETS

- Kitchen cabinets Schrock
- Countertops – Granite from Builder sample
- \$1,500.00 appliance allowance

FLOORING

- Entry foyer, dining room, kitchen, breakfast areas and upstairs hallway oak hardwood floor
- Tile baths and laundry area - \$3.50 per square foot allowance includes grout
- Carpet allowance - \$18.00 per square yard installed in all bedrooms, Living and family room

LANDSCAPING

- Loam and seed all disturbed areas
- Front walkway pavers
- Shrubs will be provided in the front of the house
- Mulch beds in the front of the house

STANDARD EXCLUSIONS

- Towel racks, soap dishes, paper holders, shower doors
- Mail Box
- Mirrors

Pam's Copy "Subject to change"

66 Bradford Loop
Georgetown, MA

Developer
Tri-Town Homes

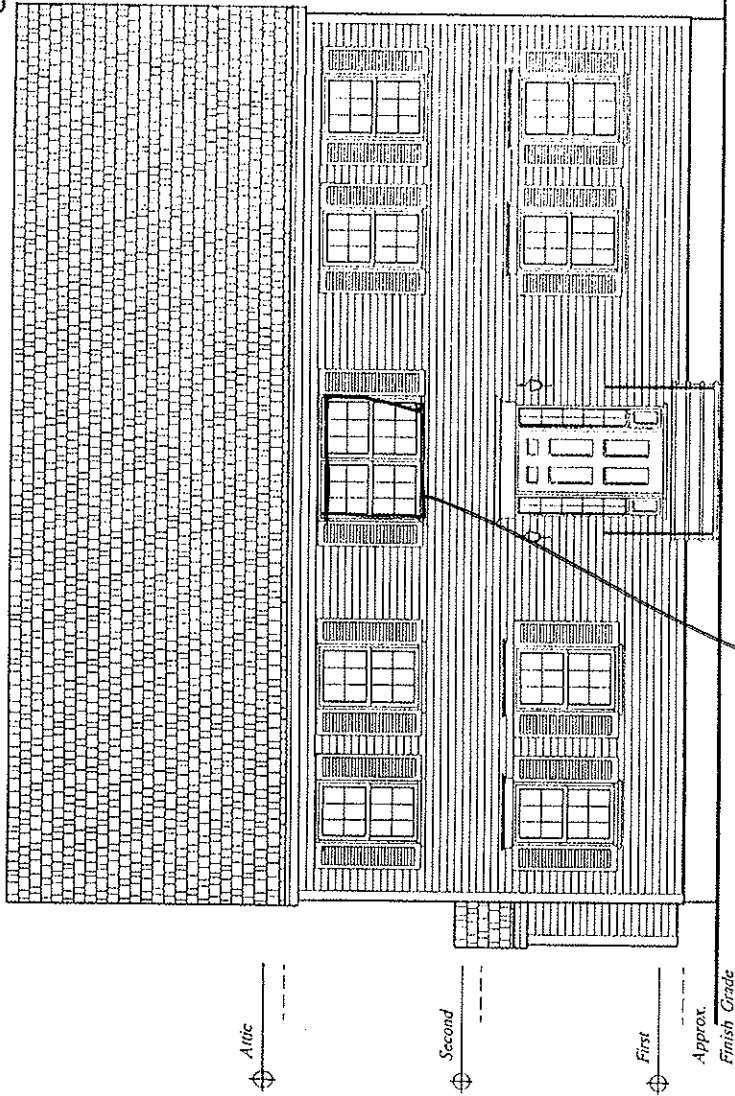
Builder
Crowe Construction

Real Estate Agent
ReMax Advantage
Pam Cote (978)882-4491

A Drafting & Design Service
for Professional Home Builders

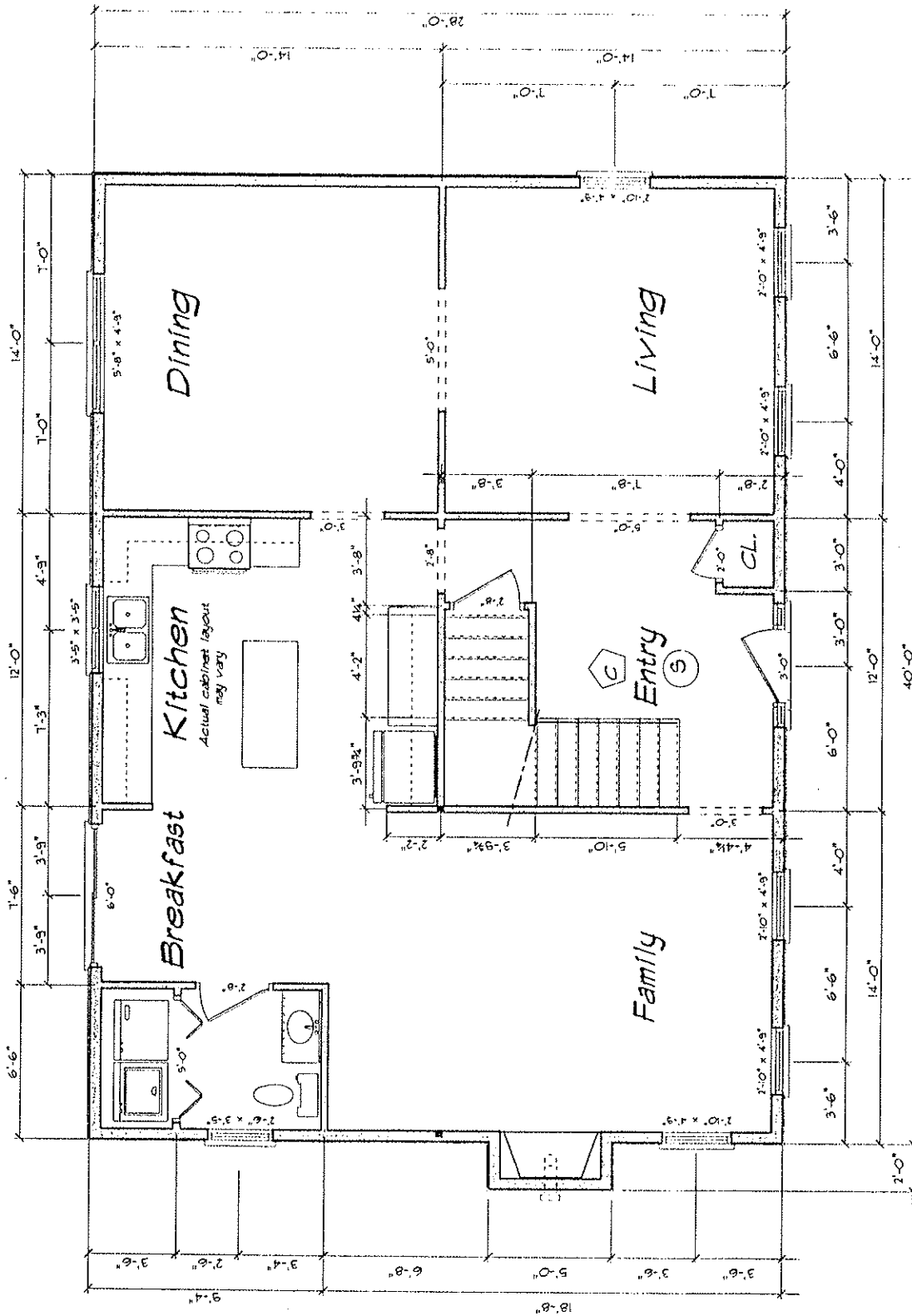
Notes:

- All dimensions to be field verified and changes made accordingly.
- Exterior siding, trim, moldings and details are per builder specifications.
- Finish grade is shown as 1/8" below top of foundation.
- See REScheck Energy Analysis Report for all Insulation R Values.
- Window & Doors: MFT., size, design, layout and details per builder.
- When this drawing is 11 x 17, it is the scale as indicated.
- Drawing print out date: March 09, 2009



Front Elevation
3/16" = 1'0"

Single window

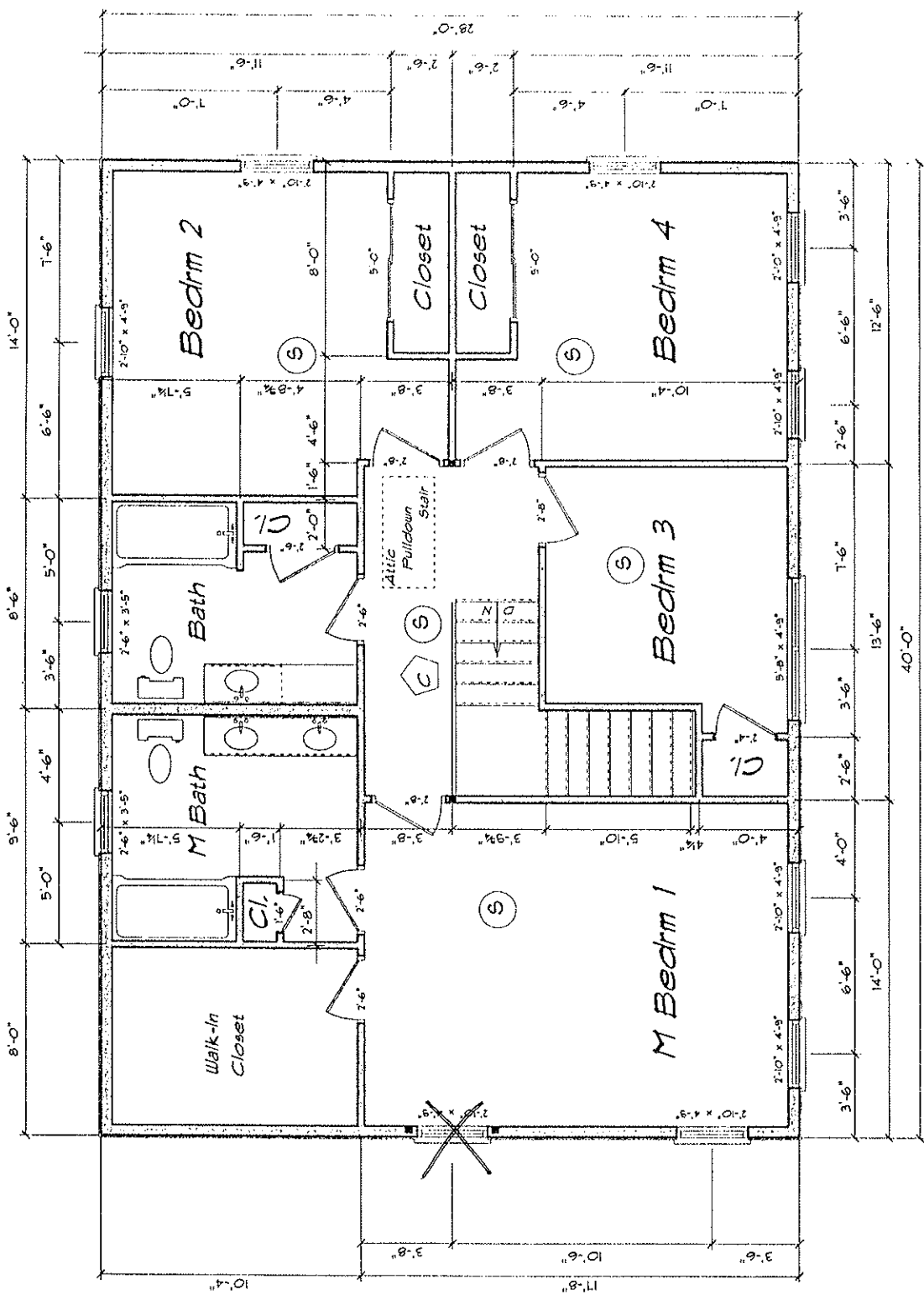


Living area sq. ft. = 1,120

2205: 1st Floor
1/4" = 1'-0"

- Notes:**
- Field verify all dimensions.
 - Scale applies for 11 x 17 drawings.
 - Drawing date: March 03, 2009.





Window gone

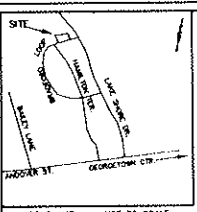
Living area sq. ft. = 1120
 2205A: 2nd Floor
 1/4" = 10'

- Notes:
- Field verify all dimensions.
 - Scale applies for 11 x 17 drawings.
 - Drawing date: March 03, 2009



3/410

PLAN BOOK 418 PLAN 3
RECORD OF DEEDS AS DESCRIBED
MADE IN 1949
Amended January 5, 2009
WPA
Date: 1/5/09
Signature: [Handwritten Signature]
FOR REGISTRY USE ONLY



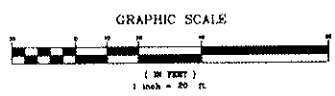
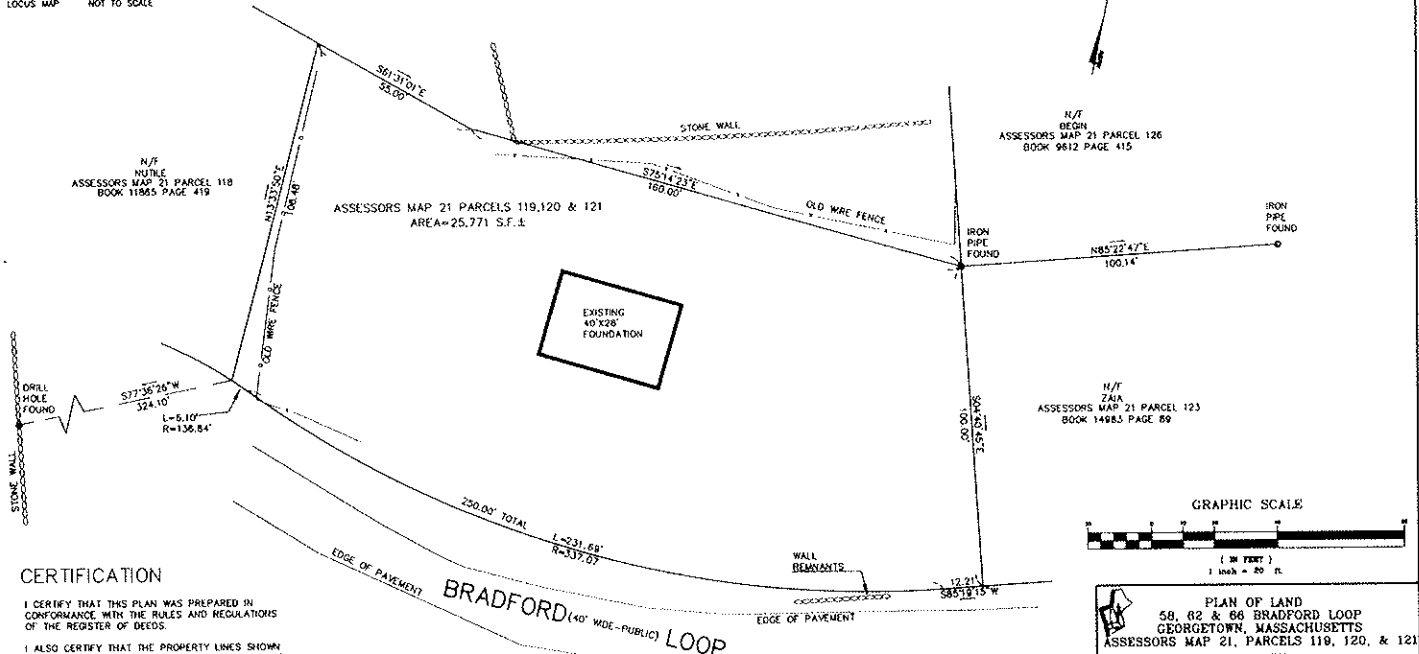
N/T
NOTICE
ASSESSORS MAP 21 PARCEL 122
BOOK 8804 PAGE 373

N/T
NOTICE
ASSESSORS MAP 21 PARCEL 126
BOOK 9612 PAGE 415

N/T
NOTICE
ASSESSORS MAP 21 PARCEL 118
BOOK 11865 PAGE 419

ASSESSORS MAP 21 PARCELS 119, 120 & 121
AREA = 25,771 S.F. ±

N/T
NOTICE
ASSESSORS MAP 21 PARCEL 123
BOOK 14983 PAGE 89



CERTIFICATION

I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

I ALSO CERTIFY THAT THE PROPERTY LINES SHOWN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC AND PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW STREETS AND WAYS ARE SHOWN.



PROFESSIONAL LAND SURVEYOR DATE: 12-10-08

NOTES

- 1.) THIS PLAN IS THE RESULT OF AN ON GROUND SURVEY PERFORMED BY NEW ENGLAND ENGINEERING SERVICES INC. ON AUGUST 4, 2008
- 2.) RECORD OWNER: KELLOP DEVELOPMENT LLC DEED OF RECORD: BOOK 27944 PAGE 182

REFERENCES

- 1.) E.S.D.R.D. PLAN BOOK 79 PLAN 81
- 2.) E.S.D.R.D. PLAN BOOK 408 PLAN 4
- 3.) E.S.D.R.D. PLAN BOOK 79 PLAN 60

PLAN OF LAND
58, 82 & 86 BRADFORD LOOP
GEORGETOWN, MASSACHUSETTS
ASSESSORS MAP 21, PARCELS 119, 120, & 121

PREPARED FOR
KELLOP DEVELOPMENT, LLC
286 SOUTH BROAD
KENSINGTON, NEW HAMPSHIRE 03833

SCALE: 1" = 20' DECEMBER 10, 2008

NEW ENGLAND ENGINEERING SERVICES, INC.
1800 OSGOOD STREET, BUILDING 20
SUITE 2-64, NORTH ANDOVER, MA 01845
(978) 886-1788

DRAWN BY: D.A.	SHEET #: 1 of 1	CHECKED BY: D.A. & B.C.O. JR.
FILE #: 1583 1-12-10-08	DESIGN BY: D.A.	

REVISED